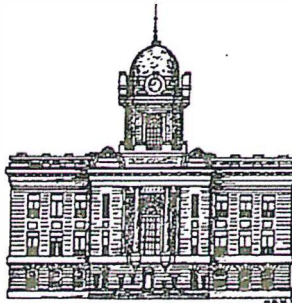


Jasper County, Iowa

Denny Carpenter

Doug Cupples

Brandon Talsma



Board of Supervisors

Courthouse

PO Box 944

Newton IA 50208

Phone 641-792-7016

Fax 641-792-1053

JASPER COUNTY BOARD OF SUPERVISORS MEETING AGENDA

www.jasperia.org

August 03, 2021

9:30 a.m.

Live Stream: <https://jasper.zoom.us/j/97712718501>

Meeting ID: 977 1271 8501

Dial In: +1-312-626-6799

Pledge of Allegiance

- Item 1 Buildings & Grounds – Adam Sparks**
 - a) Courthouse Sidewalk improvements

- Item 2 Community Development – Kevin Luettters**
 - a) Set Public Hearing for Rezone of Zane & Yefri Strawser-Picado
(Recommended Dates & Times: August 17th, August 24th, September 7th, 2021 at 9:30 am)
 - b) Approval of Subdivision Plat Name “Land of Milk n Honey”

- Item 3 Administration Building Wall Mural Committee**

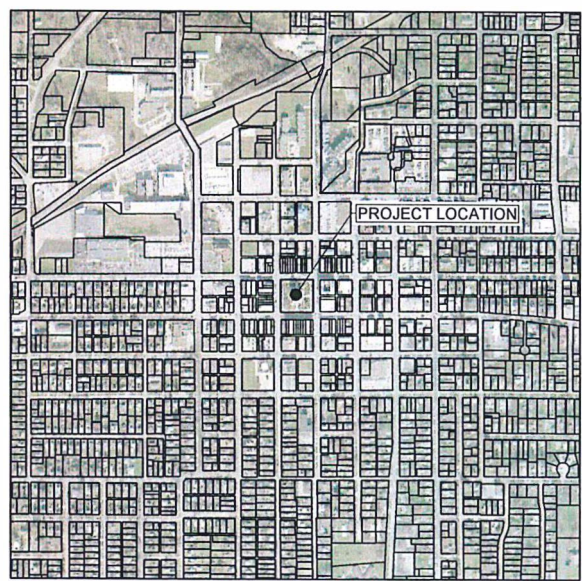
- Item 4 Approval of Claims Paid through 08/03/21**

- Item 5 Approval of Board of Supervisors Minutes for 07/27/21**

PUBLIC INPUT & COMMENTS

SITE PLANS FOR JASPER COUNTY COURTHOUSE SIDEWALK IMPROVEMENTS

101 1ST STREET NORTH
CITY OF NEWTON, JASPER COUNTY, IOWA



VICINITY MAP



OWNER
JASPER COUNTY BOARD OF SUPERVISORS
101 1ST STREET NORTH
NEWTON, IA 50208

CONTACT: ADAM SPARKS, DIRECTOR OF MAINTENANCE
PHONE: 641-321-8844
EMAIL: ASPARKS@JASPERIA.ORG

Sheet List Table	
Sheet Number	Sheet Title
C100	TITLE SHEET
C101	PROJECT INFORMATION
C200	EXISTING SITE CONDITIONS
C300	DEMOLITION PLAN
C400	DEMENSION PLAN
C500	GRADING AND EROSION CONTROL PLAN
C600	GRADING DETAILS



LOCATION 218 EIGHTH STREET
DES MOINES, IOWA 50319
PHONE 515-241-7187
WEBSITE WWW.BBSAE.COM
CONSULTANT



JASPER COUNTY COURTHOUSE
 SIDEWALK IMPROVEMENTS
 101 1ST STREET N
 NEWTON, IOWA 50208

SHEET TITLE
TITLE SHEET

REVISION _____ DATE _____

PROJECT LOCATION NEWTON, IA
 PROJECT NUMBER _____
 ISSUE DATE 2021
 FOR BID 07-23-2021
 SHEET NUMBER _____

C100



LOCATION 218 50TH STREET
 PHONE 515-281-7100
 WEBSITE WWW.BBSAE.COM
 CONSULTANT

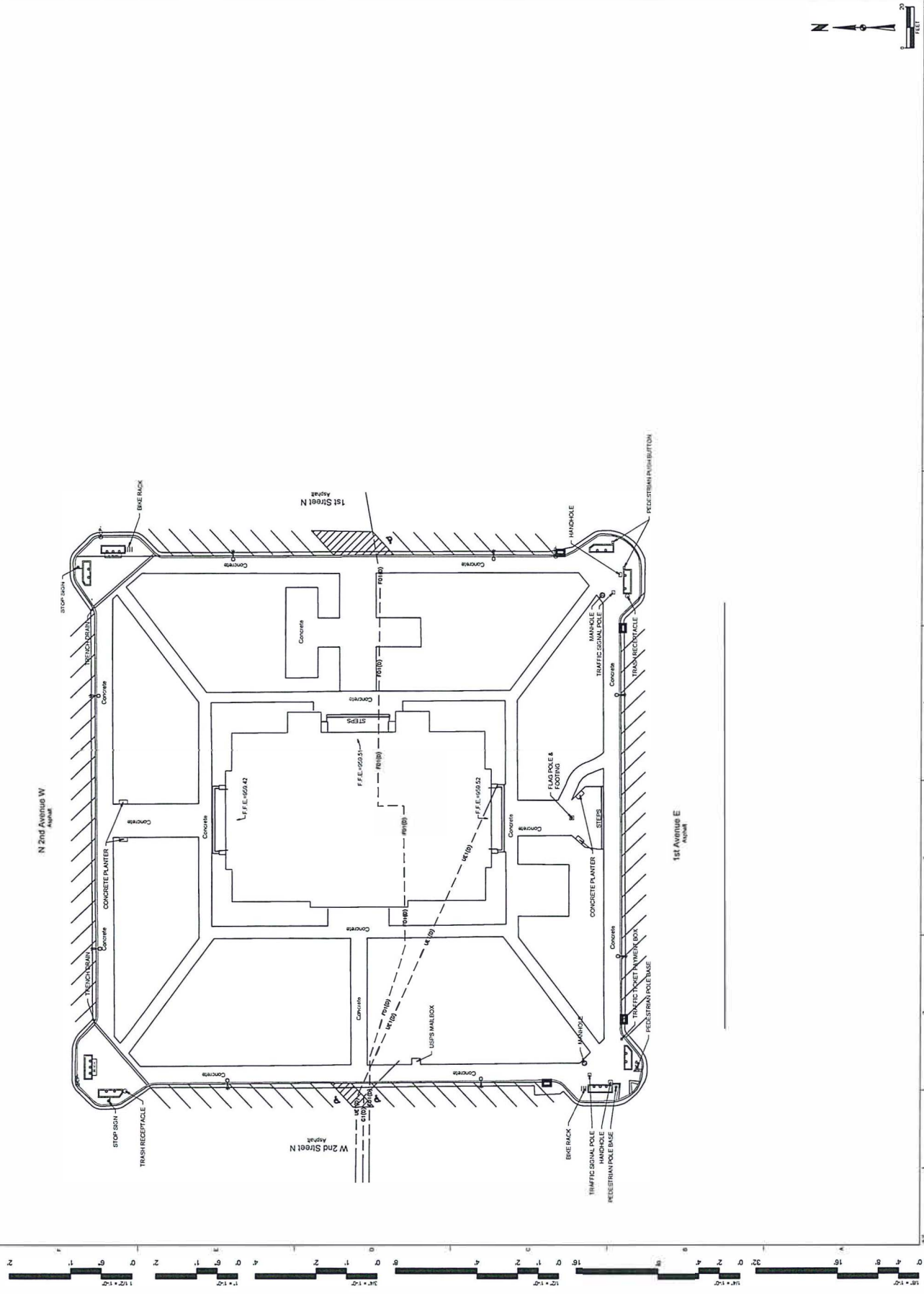


JASPER COUNTY COURTHOUSE
 SIDEWALK IMPROVEMENTS
 101 1ST STREET N
 NEWTON, IOWA 50208

REVISION: _____ DATE _____

PROJECT LOCATION NEWTON, IOWA
 PROJECT NUMBER 2004
 ISSUE DATE FOR BID 03/22/2020
 SHEET NUMBER

C200





LOCATION
719 EDWIN STREET
PHONE
DESIGNER
152-54789
WEB SITE
WWW.BBSAE.COM
CIVIL/MECH



JASPER COUNTY COURTHOUSE
SIDEWALK IMPROVEMENTS
DEMOLITION PLAN
SHEET TITLE
101 1ST STREET N
NEWTON, IOWA 50208

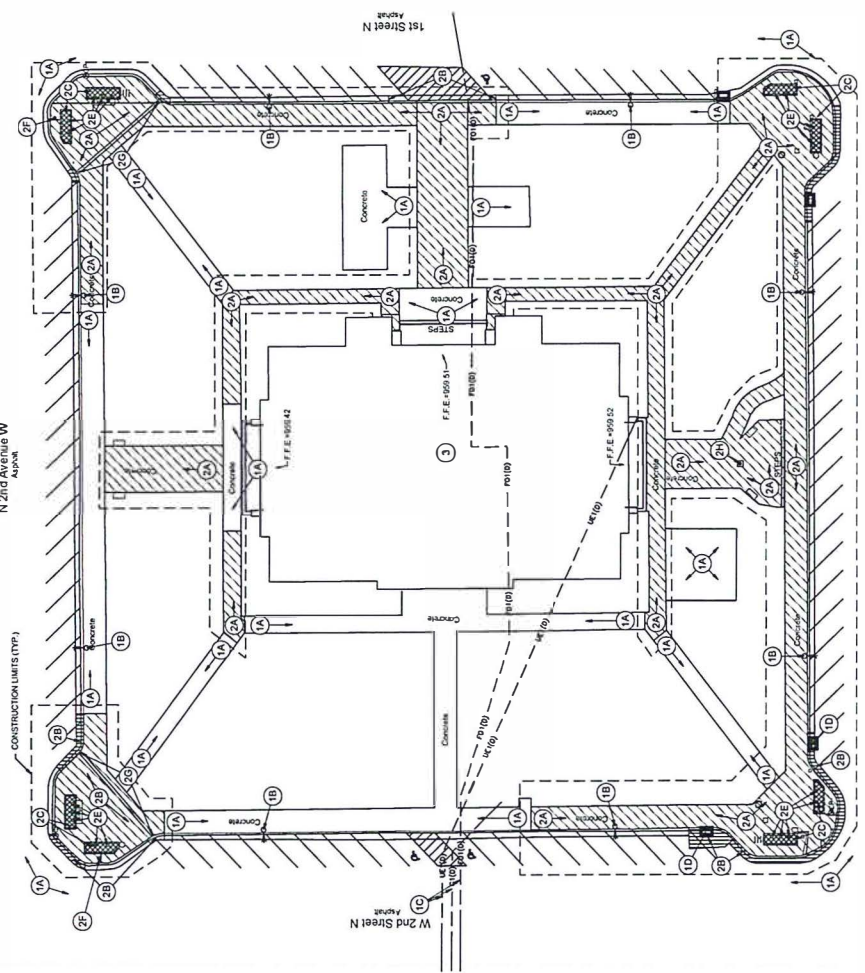
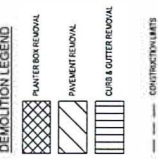
PROJECT LOCATION	NEWTON, IA
PROJECT NUMBER	2004
DATE	03/23/2021
FORM NO.	03/23/2021
SHEET NUMBER	C300

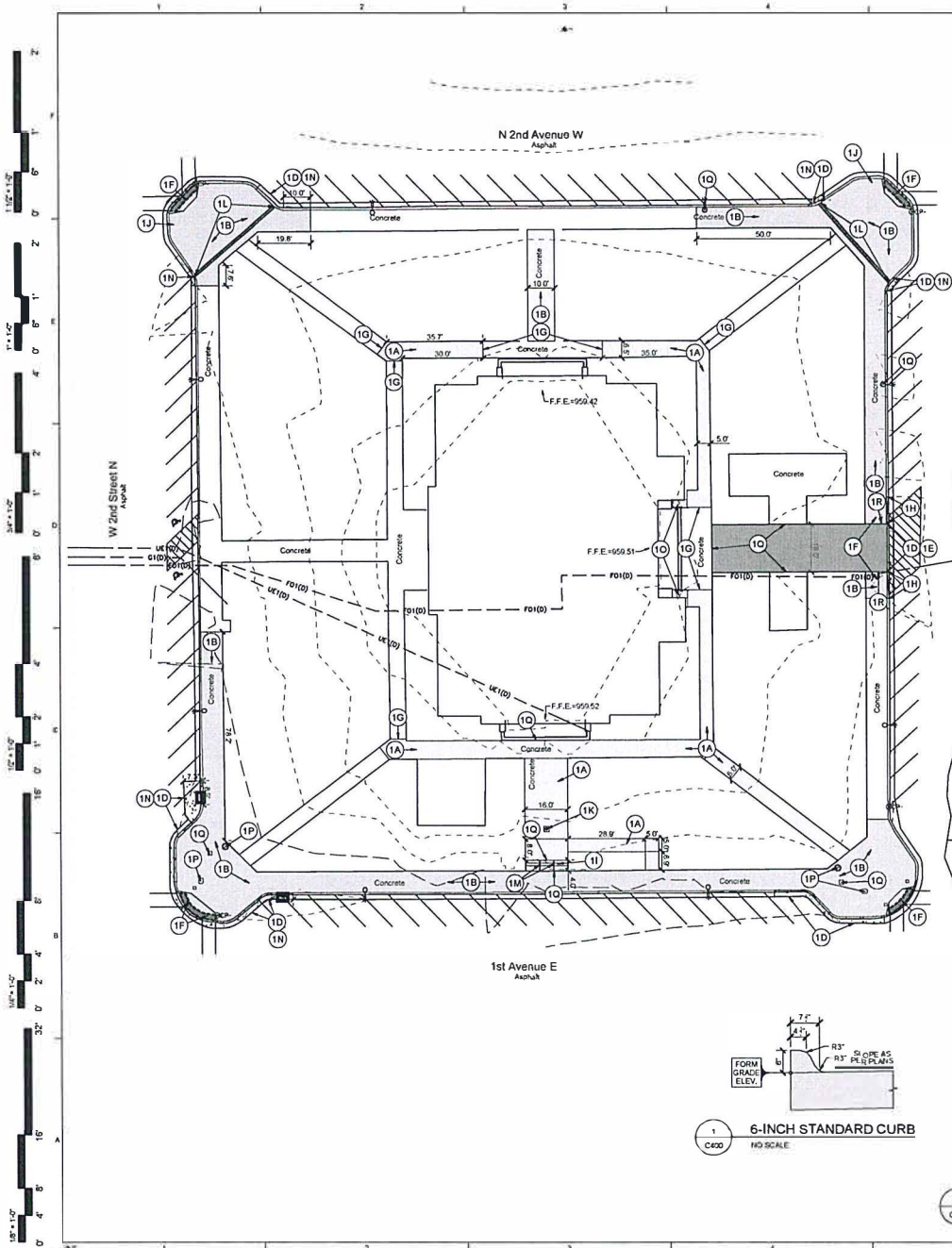


DEMOLITION PLAN CONSTRUCTION NOTES

1. EXISTING PAVEMENT TO REMAIN ANY DAMAGE TO PAVEMENT DUE TO CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE OWNER'S SPECIFICATIONS
2. EXISTING UTILITY
3. EXISTING STORM SEWER INTAKE
4. EXISTING UTILITY
5. EXISTING STORM SEWER INTAKE
6. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE
7. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE
8. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE
9. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE
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17. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE
18. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE
19. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE
20. EXISTING PAVEMENT SHALL BE REMOVED TO A MINIMUM OF 18" BELOW FINISHED GRADE

DEMOLITION LEGEND



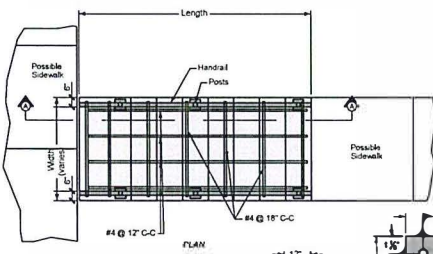


- DIMENSION AND UTILITY PLAN GENERAL NOTES**
- UTILITY WARNING:**
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
 - NOTIFY UTILITY OWNERS** PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FEATURES WHICH ARE TO REMAIN. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
 - THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE 2011 QUIDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOIL REPORT PREPARED BY TERRACON PROJECT NO. 0520601, DATED OCTOBER 21, 2020.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL PROPOSED SIGNS SHALL CONFORM TO THE MUTCD MANUAL.
 - THE CONTRACTOR SHALL LOAD AND TRANSPORT ALL MATERIALS NOT DESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.

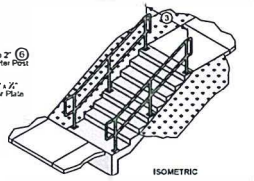
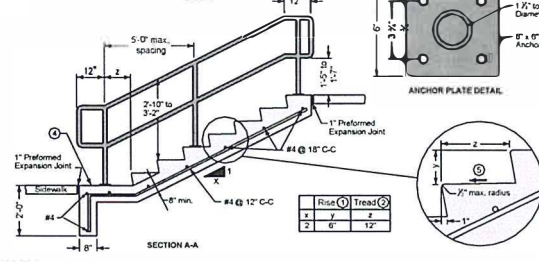
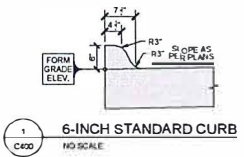
- DIMENSION AND UTILITY PLAN CONSTRUCTION NOTES**
- PAVEMENTS & SITE AMBITIES: PROVIDE THE FOLLOWING:
 - 5" DEPTH PCC WITH BLENDED WELDED WIRE MESH REINFORCEMENT ON 8" SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR.
 - 8" DEPTH PCC WITH BLENDED WELDED WIRE MESH REINFORCEMENT ON 8" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR.
 - 8" DEPTH PCC WITH BLENDED WELDED WIRE MESH REINFORCEMENT ON 12" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR.
 - CONNECT TO EXISTING PAVEMENT WITH A SUDAS "BT" TYPE JOINT.
 - NO CURB.
 - PEDESTRIAN RAMP WITH MAXIMUM LONGITUDINAL SLOPE OF 8.33%. PROVIDE CAST IRON DETECTABLE WARNING PANELS EPoxy COATED RED IN COLOR. PROVIDE RAISED DETECTABLE WARNING PANELS WHERE SHOWN.
 - WHERE NEW SIDEWALK ADJUTS EXISTING, PROVIDE PINNED CONNECTION WITH 4# EPoxy COATED DOVELES @ 18" C/S PITCHING.
 - TAPER CURB TO NO CURB IN 10'
 - PROVIDE TYPE A CONCRETE STEPS WITH HANDRAIL. HANDRAIL MATERIAL (ALUMINUM) AND INSTALLATION TYPE TO MATCH EXISTING HANDRAIL ON WEST SIDE OF COURTHOUSE. SEE DETAIL 2.
 - PROVIDE 6" DIAMETER SILEX EMBLEM CONCRETE FOR STOP SIGN INSTALLATION.
 - PROVIDE SLEEVE FOR NEW FLAGPOLE. COORDINATE SIZE AND FINAL LOCATION WITH OWNER.
 - PROVIDE TRENCH DRAIN TYPE HDNR-4802-DK. INSTALL PER MANUFACTURER REQUIREMENTS.
 - PROVIDE 2 ADDITIONAL WATCHING HANDRAILS ON STEPS WITH HANDRAIL SPACING NOT TO EXCEED 6' BETWEEN HANDRAILS.
 - 8" STANDARD CURB. SEE DETAIL.
 - PROVIDE 4" DEEP STRUCTURAL FROST FOOTING STOP. UTILIZE EXISTING ADJACENT FOOTINGS AS AVAILABLE TO CREATE FORM.
 - ADJUST GRADE ON ALL MANHOLES AND MANHOLES TO MATCH FINISHED SIDEWALK GRADE.
 - PROVIDE EXPANSION JOINT WHERE NEW CONCRETE SIDEWALK ADJUTS BUILDING FOOTING OR ADJACENT EXISTING PAVEMENTS, LIGHT POLES, AND TRAFFIC SIGNAL POLES.

PAVEMENT LEGEND

	5" PCC SIDEWALK (EST QUANTITY = 1,320 SF)
	7" PCC PAVEMENT (EST QUANTITY = 78-5 SF)
	8" PCC PAVEMENT (EST QUANTITY = 1,175 SF)



- Provide a minimum of 2 inches of cover for all reinforcing.
- Ensure all rebar are an equal height and all tracks are an equal depth within a fifth of spans.
- Minimum rebar height is 4 inches. Maximum rebar height is 7 inches.
 - Minimum lead depth is 11 inches.
 - Match existing sidewalk width.
 - Construct cross slope of landing to match adjacent sidewalk.
 - Slope tread 1% minimum to 2% maximum in any direction.
 - Weld posts to anchor plate with 1/4 inch weld. Grind weld to provide smooth surface free of burrs.



LOCATION: 318 EIGHTH STREET
DES MOINES, IOWA 50309
PHONE: 515-244-1167
WEBSITE: WWW.BBSAE.COM
CONSULTANT



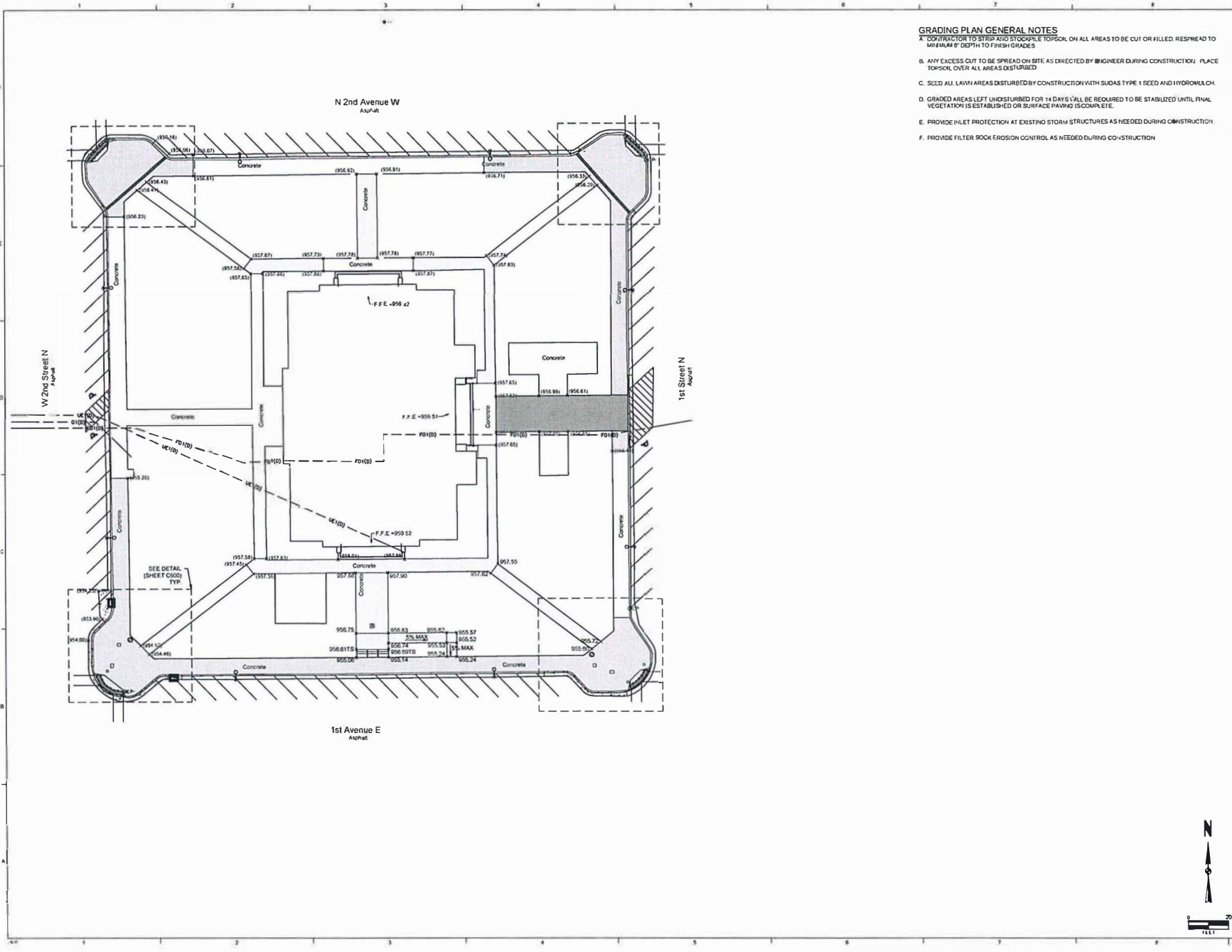
JASPER COUNTY COURTHOUSE
SIDEWALK IMPROVEMENTS
101 1ST STREET N
NEWTON, IOWA 50208

SHEET TITLE
DIMENSION AND UTILITY PLAN

REVISION _____ DATE _____

PROJECT LOCATION: NEWTON, IA
PROJECT NUMBER: _____
ISSUE DATE: 2014
FOR BID: 07-23-2021
SHEET NUMBER

C400



- GRADING PLAN GENERAL NOTES**
- A. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPIREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
 - B. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
 - C. SEED ALL LAWN AREAS DISTURBED BY CONSTRUCTION WITH SLUDAS TYPE 1 SEED AND HYDROMULCH.
 - D. GRADED AREAS LEFT UNDISTURBED FOR 14 DAYS WILL BE REQUIRED TO BE STABILIZED UNTIL FINAL VEGETATION IS ESTABLISHED OR SURFACE PAVING IS COMPLETE.
 - E. PROVIDE INLET PROTECTION AT EXISTING STORM STRUCTURES AS NEEDED DURING CONSTRUCTION.
 - F. PROVIDE FILTER SOCK EROSION CONTROL AS NEEDED DURING CONSTRUCTION.



LOCATION: 218 EIGHTH STREET
 DES MOINES, IOWA 50309
 PHONE: 515-281-7517
 WEBSITE: WWW.BBSAE.COM
 CONSULTANT



JASPER COUNTY COURTHOUSE
 SIDEWALK IMPROVEMENTS
 101 1ST STREET N
 NEWTON, IOWA 50208

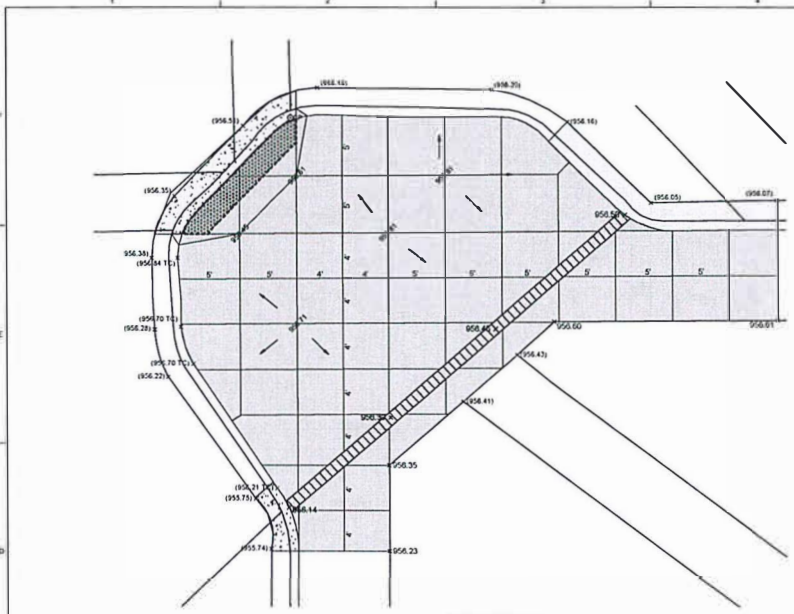
SHEET TITLE
**GRADING AND
 EROSION
 CONTROL PLAN**

REVISION: _____ DATE: _____

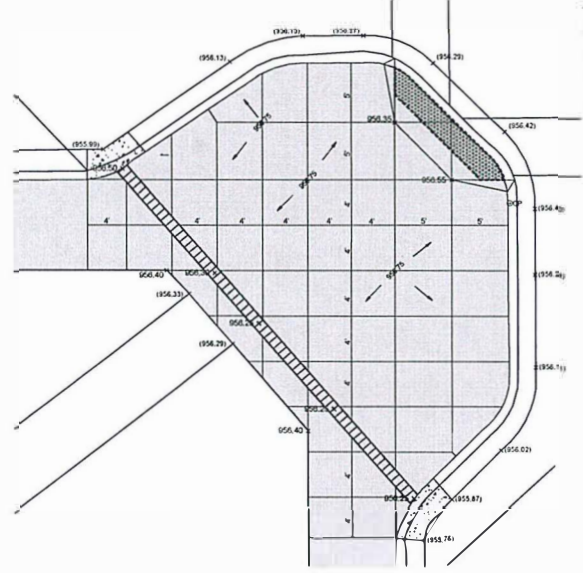
PROJECT LOCATION: NEWTON, IA
 PROJECT NUMBER: 20014
 ISSUE DATE: _____
 SHEET NUMBER: FOR BID: 07-23-2014



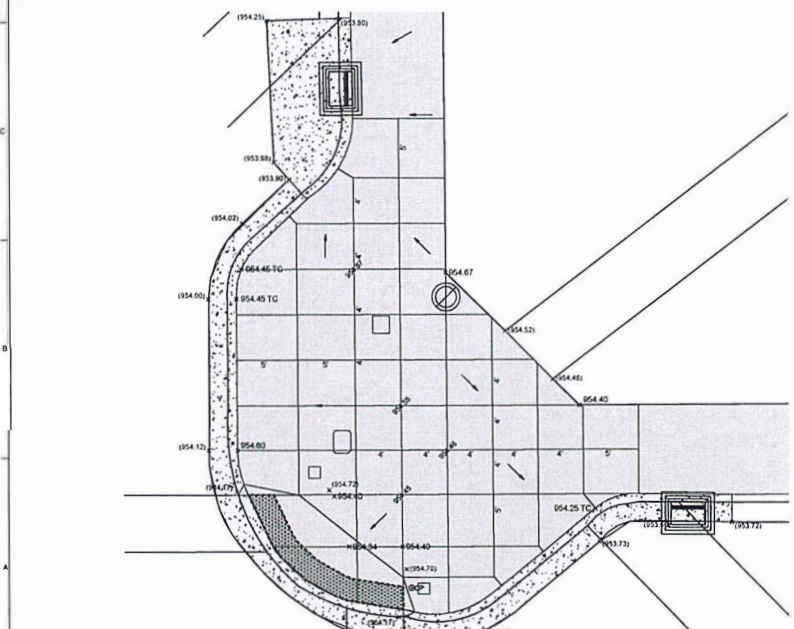
C500



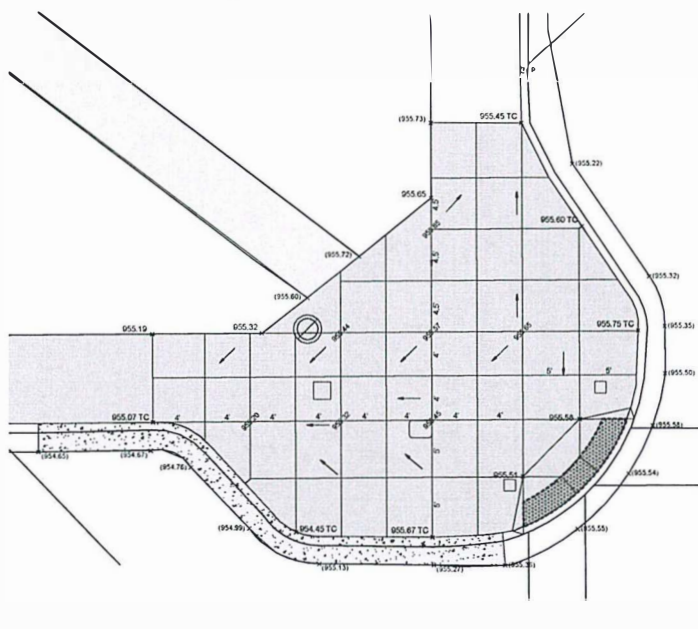
NW PEDESTRIAN RAMP



NE PEDESTRIAN RAMP



SW PEDESTRIAN RAMP



SE PEDESTRIAN RAMP

- PAVEMENT CONSTRUCTION & JOINTING NOTES**
- A. PROVIDE CONSTRUCTION SAW JOINTS AS DEPICTED ON THE PLANS.
 - B. PROVIDE CONSTRUCTION JOINTS AS SHOWN ABOUT 110 TO 120 EXISTING PAVEMENTS PER STANDARD PRACTICE.
 - C. CLEAN ALL JOINTS BEFORE APPLYING SURFACE SEALER OR JOINT SEALANT.
 - D. SEAL ALL NEW PAVEMENT JOINTS WITH CHEMACHERE PAVR 60000 CRYSTALLINE SEALER PER MANUFACTURER'S SPECIFICATION.
 - E. SEAL ALL NEW PAVEMENT JOINTS WITH A SELF-LEVELING CRACK SEALANT. SEALANT CODES TO BE SAHJSTOHE APPROVED PRODUCT SSKA FLEX.



LOCATION: 218 EIGHTH STREET
DES MOINES, IOWA 50309
PHONE: 515-281-7187
WEBSITE: WWW.BBSAC.COM
CONSULTANT



JASPER COUNTY COURTHOUSE
SIDEWALK IMPROVEMENTS
101 1ST STREET N
NEWTON, IOWA 50208

SHEET TITLE
GRADING DETAILS

REVISION: _____ DATE: _____

PROJECT LOCATION: NEWTON, IA
PROJECT NUMBER: 25014
ISSUE DATE: FEB 03 - 03-25-2021
SHEET NUMBER: _____

C600

JASPER COUNTY COMMUNITY DEVELOPMENT

CONSISTING OF:

Planning & Zoning Division | Environmental Health Division | Animal Control Division
116 W 4th St S Newton, IA 50208 ph: 641-792-3084 fax: 641-275-3708

Rezone Request

Case File: R-2021-08

Date 7/29/2021

Set public hearing dates for the rezone of PARCEL #10.28.200.011
SECTION:28 TOWNSHIP:80 RANGE:17 PARCEL B NE NE which is
going from “Agricultural” to “Residential”.

Suggested Dates: 8/17/21, 8/24/21, 9/7/21



Kevin Luettgen
Jasper County Community Development

JASPER COUNTY COMMUNITY DEVELOPMENT

CONSISTING OF:

Planning & Zoning Division | Environmental Health Division | Animal Control Division
116 W 4th St S Newton, IA 50208 ph: 641-792-3084 fax: 641-275-3708

SUBDIVISION REQUEST

Subdivision Request 21-02

A subdivision request that has been made to Jasper County Community Development for The Land of Milk N Honey Subdivision located in NORTHEAST ¼ OF THE NORTHEAST ¼, SECTION:20 TOWNSHIP:79 RANGE:17NE NE EX PARCEL, JASPER COUNTY, IOWA. THIS INCLUDES PARTS OF THE FOLLOWING PARCELS: 1520200005 AND 1520200006.

We, the Jasper County Zoning Commission, recommend that this subdivision request be/not be granted.

Aye
 Nay

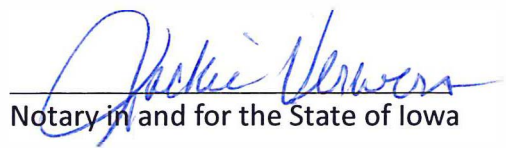

Chairperson Jasper County Zoning Commission

State of Iowa, Jasper County

On this 28th day of July, before me JACQUE VERWERS a Notary Public in and for the State of Iowa, appeared JEREMY FLORES to me personally known to be the chairperson of the Jasper County Zoning Commission and that said Rezoning Request was signed by him/her on behalf of said Jasper County Zoning Commission.

Witness my hand and Notary Seal the day and year above written.




Notary in and for the State of Iowa

APPROVAL OF SUBDIVISION PLAT NAME BY JASPER COUNTY AUDITOR

Date: 7/20/2021

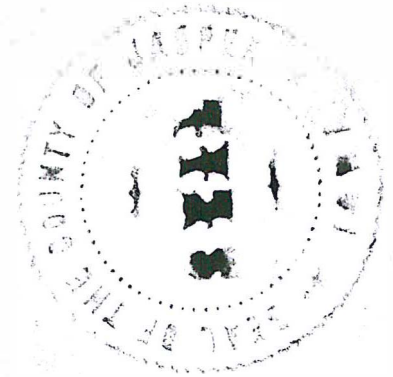
The Jasper County Auditor's Office has reviewed the final plat of:

LAND OF MILK N HONEY SUBDIVISION

Pursuant to Iowa Code §354.6(2) and §354.11(A-F), we approve of the subdivision name or title and have no objections to this subdivision plat being recorded.

Signed *Leyna K. Guthrie*
Real Estate Clerk- Jasper County, Iowa

Signed *Dennis [Signature]*
Auditor of Jasper County, Iowa



RESOLUTION NO. _____

RESOLUTION APPROVING PLAT OF LAND OF MILK N HONEY SUBDIVISION

WHEREAS there has been presented to the Jasper County, Iowa Board of Supervisors a plat of certain property located in Jasper County, said plat being designated as **LAND OF MILK N HONEY SUBDIVISION**, and certified by J Brian Morrissey of Morrissey Surveying & Consulting, LLC.

WHEREAS the property covered by said plat is legally described as follows:

That part of the Northeast Quarter of the Northeast Quarter of Section 20, Township 79 North, Range 17 West of the Fifth Principal Meridian, Jasper County, Iowa

More particularly described as follows:

Commencing at the northeast corner of said Section 20 and the northeast corner of Parcel "A" as recorded in Book 2007, Page 2130, at the Jasper County, Iowa, Recorder's Office; thence on an assumed bearing of North 89 degrees 31 minutes 58 seconds West 363.02 feet along the north line of said Northeast Quarter of the Northeast Quarter, and along the north line of said Parcel "A", to the point of beginning;
thence South 00 degrees 07 minutes 53 seconds East 480.00 feet;
thence North 89 degrees 31 minutes 58 seconds West 44.97 feet to the west line of said Parcel "A";
thence North 89 degrees 31 minutes 58 seconds West 447.03 feet;
thence North 00 degrees 07 minutes 53 seconds West 150.00 feet;
thence South 89 degrees 31 minutes 58 seconds East 447.03 feet to the west line of said Parcel "A";
thence North 00 degrees 07 minutes 53 seconds West 330.00 feet along said west line to the northwest corner of said Parcel "A", and to the north line of the Northeast Quarter of the Northeast Quarter of said Section 20;
thence South 89 degrees 31 minutes 58 seconds East 44.97 feet along said north line, and along said north line of said Parcel "A", to the point of beginning.

Said tract contains 2.03 acres and is subject to Jasper County Highway Easement over the northerly 0.03 acres thereof.

WHEREAS the plat in all respects conforms to the laws and regulations covering the same.

NOW THEREFORE be it resolved that the plat designated **LAND OF MILK N HONEY SUBDIVISION** of the above-described property be and the same is hereby approved. The chairman of the board is hereby directed to certify a copy of this Resolution and affix the same to the plat for filing in the office of the Jasper County Recorder.

Approved this _____ day of _____, 2021

Chairman

Auditor

I, Doug Cupples, chairman of the Jasper County Board of Supervisors, do hereby certify that the Resolution hereinabove set out is a true and correct copy of a Resolution approved and adopted by the Jasper County Board of Supervisors on the _____ day of _____, 2021 whereby said board accepted and approved the plat of LAND OF MILK N HONEY SUBDIVISION.

IN WITNESS WHEREOF, I hereto affix my hand and the seal of Jasper County, Iowa, this _____ day of _____, 2021.

Notary

Tuesday, July 27, 2021, the Jasper County Board of Supervisors met in regular session at 9:30 a.m. Supervisors Talsma, Carpenter, and Cupples present and accounted for; Chairman Cupples presiding.

Motion by Talsma and seconded by Carpenter to adopt Resolution 21-60 to create three full-time jailer positions at the Sheriff's Office.

YEA: CARPENTER, TALSMA, CUPPLES

A complete copy of the resolution is on file in the Office of the Jasper County Auditor.

Motion by Carpenter and seconded by Talsma to table agenda item #2 Hiring Resolution for Social Media/Communications Specialist.

YEA: TALSMA, CARPENTER, CUPPLES

Motion by Carpenter and seconded by Talsma to approve the Recorder's Monthly Report for the period beginning June 1, 2021 and ending June 30, 2021.

YEA: TALSMA, CARPENTER, CUPPLES

Motion by Talsma and seconded by Carpenter to approve Board of Supervisors minutes for 07/20/2021.

YEA: CARPENTER, TALSMA, CUPPLES

A discussion was had on agenda item #5, Internal and Public Bid Policy. It was concluded that the County already has a policy that is sufficient.

Motion by Talsma and seconded by Carpenter to enter Closed Session in accordance with Iowa Code Section 22.7(50) concerning information and records concerning physical infrastructure, cyber security, critical infrastructure, security procedures.

YEA: CARPENTER, TALSMA, CUPPLES

The Supervisors came back into open session.

Motion by Talsma and seconded by Carpenter to direct the IT Director to purchase cyber security software and support for the County and to bring back to the Board an addition to the County's cyber security plans.

YEA: CARPENTER, TALSMA, CUPPLES

Motion by Talsma and seconded by Carpenter to adjourn the Tuesday, July 27, 2021, meeting of the Jasper County Board of Supervisors.

YEA: CARPENTER, TALSMA, CUPPLES

Dennis K. Parrott, Auditor

Doug Cupples, Chairman